

## Residential Land Use Districts

### 8.1. **Application**

Sections 8.2 through 8.1 shall apply to all residential land use districts under this Bylaw.

### 8.2. **Accessory Buildings**

Except as otherwise allowed in this Bylaw, an accessory building must not be:

- (a) located in a front or side yard;
- (b) located less than 1 m from side and rear property lines in a rear yard; and
- (c) more than 3.7 m in height above finished grade.

### 8.3. **Air Conditioners**

A freestanding exterior air conditioner must not be:

- (a) located in a front yard; or
- (b) located less than 1 m from side and rear property lines.

### 8.4 **Basement Suites (BL7/2007)**

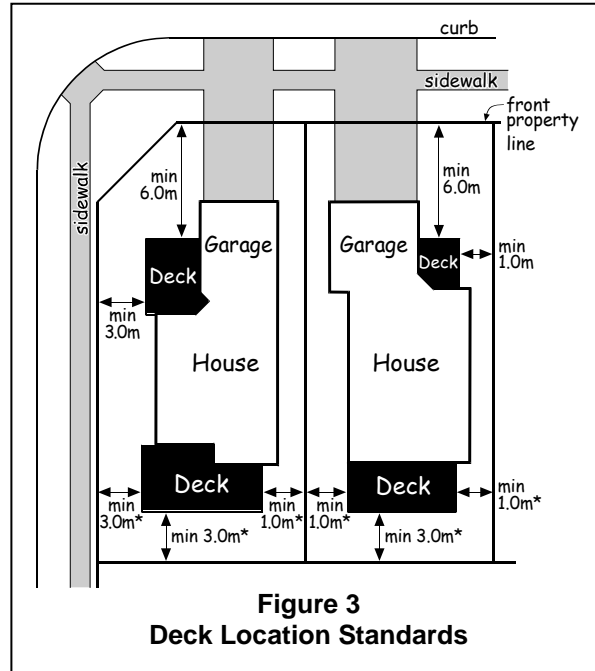
- (a) basement suites shall be accessory to the principal dwelling unit;
- (b) one basement suite is permitted on a lot with a single-detached house;
- (c) a basement suite shall have a maximum of three bedrooms;
- (d) the minimum area of a basement suite shall be not less than 30m<sup>2</sup>;
- (e) basement suites shall not be considered in the calculation of densities as outlined in statutory plans;
- (f) basement suites shall have a separate entry from the principal dwelling unit, either from a common indoor landing or from the exterior. If the entry is from the exterior, it shall be located on the side or rear of the principal dwelling unit.

## Residential Land Use Districts

### 8.5. Below Grade Development

Stairways and steps attached to the principal building that are located below finished grade must not:

- (a) project more than 1 m into a required side yard setback unless the yard provides or is required to provide driveway access to a detached garage or carport in a rear yard setback in which case no projection is allowed; or
- (b) be located less than 1 m from the side property line.



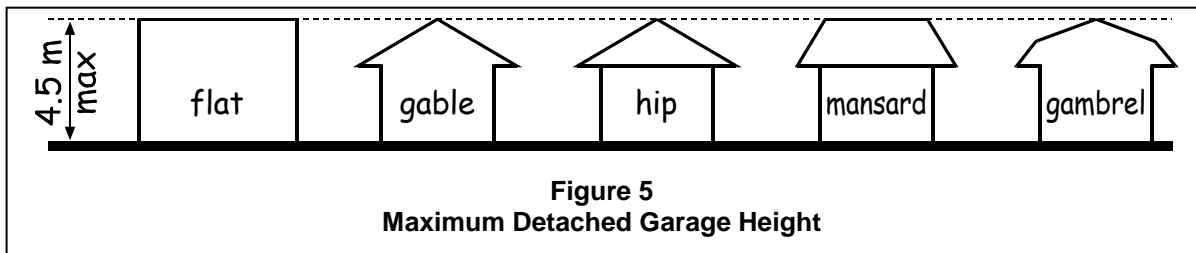
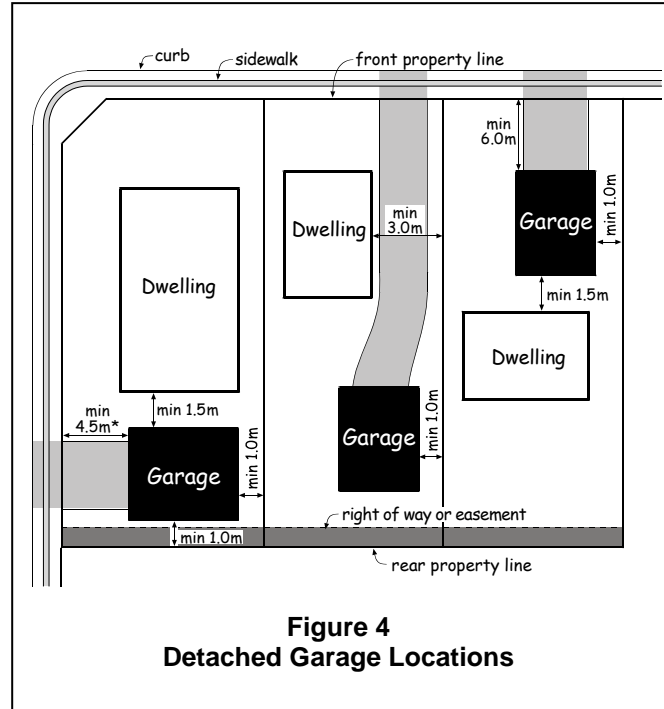
### 8.6. Decks

- (1) A deck must
  - (a) meet the required front yard setback of the principal building;
  - (b) be located at least 1 m from a side property line; and
  - (c) be located at least 3 m from the rear property line (Figure 3).
- (2) An unenclosed deck located in a side yard that adjoins a public roadway in a corner lot must be located at least 3 m from a property line adjoining a public roadway (Figure 3).
- (3) If a deck is more than 1.5 m above finished grade, it must be located at least 5 m from all property lines, unless:
  - (a) the Development Officer determines that a 5 m separation from all property lines is not required due to site conditions; and
  - (b) the deck complies with the side yard setback of the principal building.
- (4) If a covered deck is attached to a principal structure, the deck shall meet the minimum setback requirements for the principal structure.
- (5) Decks less than 0.6 m above finished grade may be built to the interior side property line.

**Residential Land Use Districts**

**8.7. Detached Garage and Detached Carport**

- (1) A detached garage or detached carport (Figure 4) must not be
- (a) located less than 1 m from the side or rear property lines of the lot;
  - (b) located less than 4.5 m from the rear property line of the lot for a laned lot or a lesser setback at the discretion of the Development Officer, who shall have consideration for the space needed between the garage and laneway;
  - (c) located less than 1.5 m from the principal building on the lot;



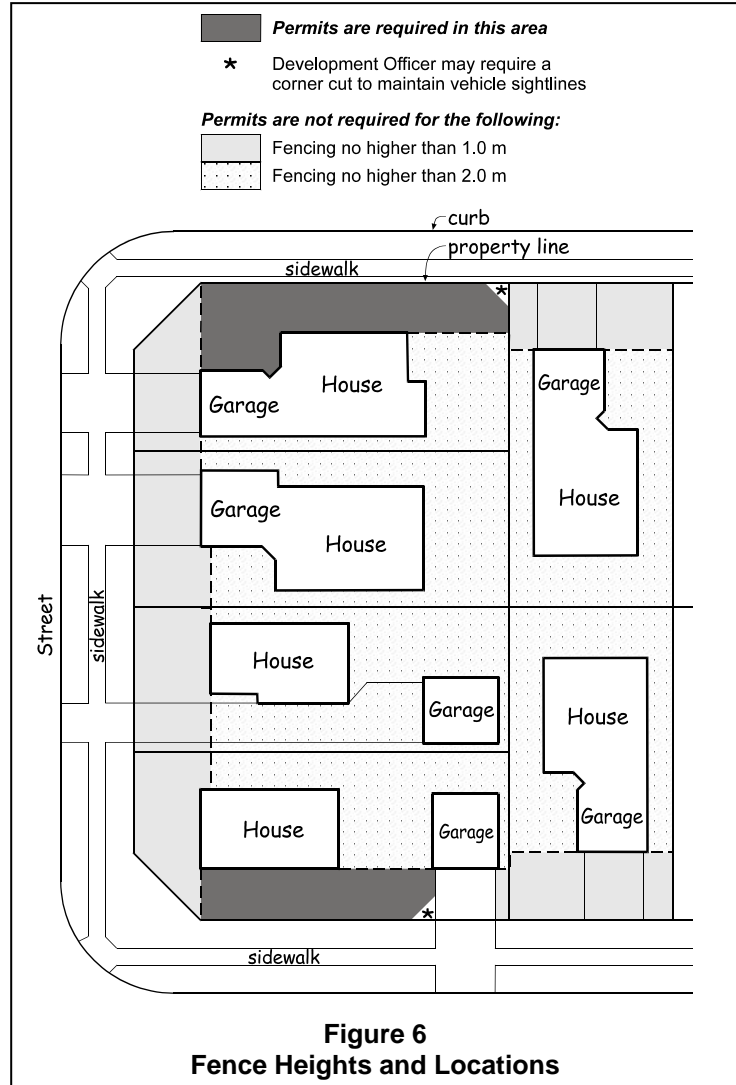
- (d) more than 4.5 m in height (Figure 5); or
  - (e) encroach onto a required front yard.
- (2) In addition to the requirements in subsection (1), on a corner lot, a detached garage or carport must be located at least 4.5 m from the side property line adjoining the public roadway where there is no sidewalk or 6 m from the edge of the sidewalk nearest the property line, whichever is greater; and the face of the garage must be located at least 6 m from the edge of the sidewalk closest to the development.
- (3) The Development Officer may approve a breezeway that connects a detached garage to a principal building if it is built in compliance with the Alberta Building Code and does not exceed 13.5 sq. m in gross floor area.

## Residential Land Use Districts

### 8.8. Fences

(Figure 6)

- (1) A fence in or around a front yard must not exceed 1 m in height except where required under Section 6.5.
- (2) Any other fence must not exceed 2 m in height.
- (3) For the purposes of subsection (1) only, the depth of a front yard shall be the distance from the front property line to the foremost portion of the on-site principal building or the principal building on the lot adjacent to the fence, whichever is greater.
- (4) For a fence that is to be constructed on top of a retaining wall or within 1 m of the top of a retaining wall, the maximum height of the fence shall be determined from a point that is one-half the height of the subject retaining wall.



- (5) Notwithstanding anything in this section, no fence is permitted in the front or side yard of a corner lot if, in the opinion of the Development Officer, the fence will block or impede traffic sight lines.

### 8.9. Fire Pits and Barbecues

A fixed outdoor fire pit, barbecue, fireplace or stove must not be:

- (a) located in a front or side yard;
- (b) located less than 3 m from side and rear property lines; or
- (c) located less than 3 m from any building.

## Residential Land Use Districts

### 8.10. Gazebos

- (1) A gazebo must not be:
  - (a) located in a front or side yard;
  - (b) located less than 3 m from side and rear property lines;
  - (c) located less than 1.5 m away from the principal building on the lot;
  - (d) more than 4.5 m in height above finished grade; or
  - (e) larger than 15 sq. m.
- (2) Notwithstanding the provisions of clause (1)(b), a gazebo may be built to a setback of 1 m from the side and rear property lines if:
  - (a) the finished floor of the gazebo is no greater than 0.75 m above finished grade; and
  - (b) the height of the structure does not exceed 4 m.

### 8.11. Group Homes

A group home shall comply with the following regulations:

- (a) the Development Officer shall establish the maximum number of residents, to a maximum of 6 residents, having regard for the nature of the group home and the density of the district in which it is located;
- (b) the group home shall not generate pedestrian or vehicular traffic or parking in excess of that which is characteristic of the district in which it is located; and
- (c) a group home shall be located a minimum of 300 m from another group home. Subject to the discretion of the Development Officer, a group home may be located within 300 m of another group home if the group homes in question are located either in different neighbourhoods or are separated by a major arterial roadway listed in Schedule B.

### 8.12. Lot Coverage

Notwithstanding Section 1.9(8), the Development Officer shall include the area of the principal building and accessory buildings including, but not limited to, gazebos, detached garages and carports, covered or enclosed decks and verandas in the calculation of lot coverage.

### 8.13. Motor Vehicle Access

- (1) In the R1 and R2 Districts only 1 motor vehicle access per lot is allowed.
- (2) Notwithstanding subsection (1),
  - (a) on a corner lot, the Development Officer may permit one motor vehicle access on each side adjoining a public roadway;

## Residential Land Use Districts

- (b) on a lot which can be accessed from a rear lane, the Development Officer may permit 1 additional motor vehicle access from the rear lane; or
- (c) on a lot that provides a minimum of 30 m of frontage, the Development Officer may permit a circular driveway with two vehicle accesses.

### 8.14. Outdoor Storage

- (1) There shall be no outdoor storage of inoperable, dilapidated, wrecked or dismantled
  - (a) motor vehicles;
  - (b) recreation equipment;
  - (c) recreation vehicles; or
  - (d) other equipment of any kind.
- (2) There shall be no outdoor storage of materials or goods that are associated with a business or home occupation.

### 8.15. Private Pools and Decorative Ponds

- (1) A private pool or decorative pond must be
  - (a) at least 1 m from the side and rear property lines;
  - (b) located in a rear or side yard in an interior lot; and
  - (c) on a corner lot, located in a rear yard or the side yard not adjacent to a public roadway.
- (2) A decorative pond must not be located in a front yard, unless:
  - (a) the decorative pond is 600 mm or less in depth; and
  - (b) the decorative pond is located a minimum of 1 m from the front and side property lines.
- (3) A private pool must be enclosed by fences equipped with gates that lock in accordance with the Alberta Building Code in effect at the date of the application for development permit.

### 8.16. Radio Antennas

- (1) Subject to the requirements of the Canadian Radio-television and Telecommunications Commission, a radio antenna must not be:
  - (a) located in a front yard;
  - (b) located less than 1.5 m from side and rear property lines;
  - (c) more than 12 m in height above finished grade; or

## Residential Land Use Districts

- (d) used for commercial purposes.
- (2) There shall be no more than 1 freestanding radio antenna on a lot.
- (3) There shall be no more than 2 roof top radio antennas on a lot.

### 8.17. **Satellite Dish Antennas**

- (1) A satellite dish antenna must not be:
  - (a) roof-top mounted, if it has a diameter greater than 0.5 m;
  - (b) located in a front or side yard;
  - (c) less than 1 m from side and rear property lines;
  - (d) more than 4 m in height from finished grade unless it is roof-top mounted;  
or
  - (e) greater than 3.5 m in diameter.

### 8.18. **Separation Distance for Accessory Buildings**

- (1) The minimum distance between a principal building and any accessory building must be 1.5 m unless otherwise determined by the Development Officer.
- (2) A garage that faces an on-site roadway must have a minimum setback of 6 m from the closest edge of that roadway.

### 8.19. **Setback Variation - R1 District**

For the purpose of providing a variation to improve the overall amenity of an area, the Development Officer may require that front yard setbacks be varied by an amount between 1 and 1.5 m for 1 in 6 new houses proposed for construction on continuously adjoining sites.

This page left intentionally blank for printing purposes.

## Section 8.20. Low Density Residential (R1) Land Use District

### (1) **Application**

This section applies to the District designated as Low Density Residential (R1) on the Land Use District Map, Schedule A, of this Bylaw. Additional requirements are outlined in the Established Neighbourhood Overlay District, Schedule E, for development taking place in established neighbourhoods outlined in Figure 27. **(BL19/2006)**

### (2) **Purpose**

The purpose of the Low Density Residential (R1) Land Use District is to provide an area for single-detached houses and other development compatible with the low density residential nature of the district.

### (3) **Permitted Land Uses**

The following are permitted uses:

- (a) single-detached house;
- (b) limited group home;
- (c) park;
- (d) basement suite; and **(BL7/2007)**
- (e) accessory development to any use listed in subsection (3), excluding decks that are greater than 1.5 m above finished grade, gazebos and private pools.

### (4) **Discretionary Land Uses**

The following are discretionary land uses:

- (a) bed and breakfast;
- (b) duplex;
- (c) family day home;
- (d) group home;
- (e) home occupation;
- (f) public utility building;
- (g) raffle home;
- (h) residential sales centre;
- (i) semi-detached housing;
- (j) show home;
- (k) wall mural; and
- (l) accessory developments to any use listed in subsection (4), and deck that are greater than 1.5 m above finished grade, gazebos and private pools.

### (5) **Floor Area**

- (a) The minimum gross floor area per principal dwelling unit is 90 sq. m, excluding the area of an attached garage.

**Section 8.20. Low Density Residential (R1) Land Use District**

- (b) The area comprising the gross floor area must be enclosed, but does not require interior finishing.
- (c) **(Deleted – BL11/2009)**

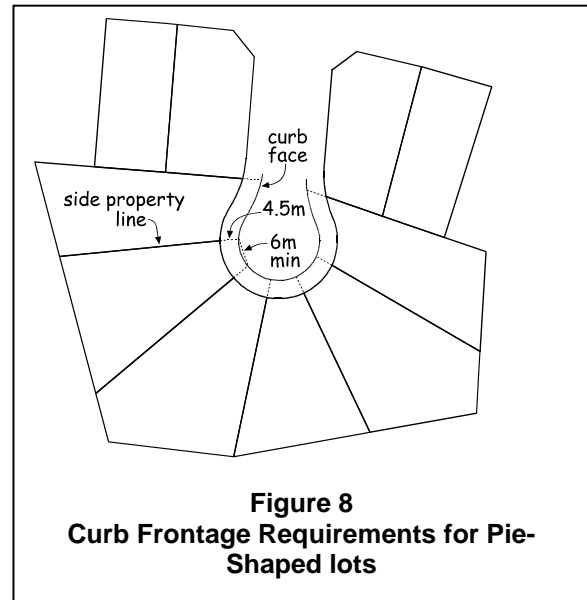
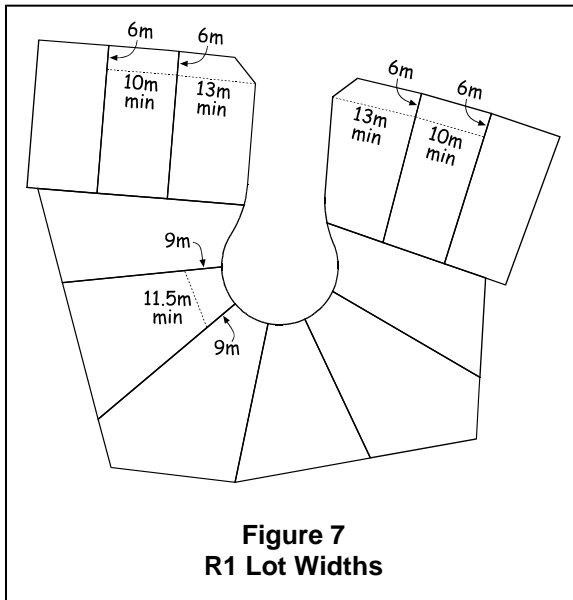
**(6) Lot Width**

The minimum lot width for a single-family detached house is 10 m, or in the case of a corner lot, 13 m (Figure 7).

**(7) Lot Width – Pie-Shaped Lot**

For a pie-shaped lot located on a bulb of a cul-de-sac or a partial bulb on an outside corner of a public roadway:

- (a) lot width is measured along a line 9 m back from the front property line (Figure 7); **(BL13/2006)** and
- (b) the curb frontage must be a minimum of 6 m as measured between the points determined by the intersection of the side property lines and the line of the curb face. For the purposes of this subsection, the side property lines are extended to the curb face (Figure 8).



**(8) Lot Width Distribution**

- (a) Lands not governed by an Area Structure Plan. An application for subdivision shall not be approved unless the lot width distribution for single-detached houses within the subdivision conforms with the following:

**Section 8.20. Low Density Residential (R1) Land Use District**

Lot Width	≥14.5m	≥12.2m – <14.5m	11.5m - <12.2 m	10m - <11.5m
Percentage of lots allowed for that range of widths	50-100%	0-50%	0-30%	0-20%

- (b) Lands governed by an Area Structure Plan adopted prior to effective date of this Bylaw. Notwithstanding the provisions of clause (a), if the subdivision forms one stage of a series of subdivisions contemplated within an area under an Area Structure Plan bylaw originally adopted prior to this Bylaw coming into force, the Area Structure Plan shall comply with the following:

Lot Width	≥14.5m	≥12.2m – <14.5m	11.5m - <12.2 m
Percentage of lots allowed for that range of widths	50-100%	0-50%	0-30%

- (c)
- (i) Lands governed by an Area Structure Plan adopted subsequent to effective date of this Bylaw. Notwithstanding the provisions of clause (a), if the subdivision forms one stage of a series of subdivisions contemplated within an area under an Area Structure Plan bylaw adopted subsequent to this Bylaw coming into force, the Area Structure Plan shall comply with the following table:

Lot Width	≥14.5m	≥12.2m – <14.5m	11.5m - <12.2 m	10m - <11.5m
Percentage of lots allowed for that range of widths	50-75%	10-35%	10-30%	5-20%

- (ii) Notwithstanding clause (b), the lot width distribution in clause (c)(i) may apply to the North Ridge neighbourhood as long as any single-family detached lot less than 11.5 m in width is

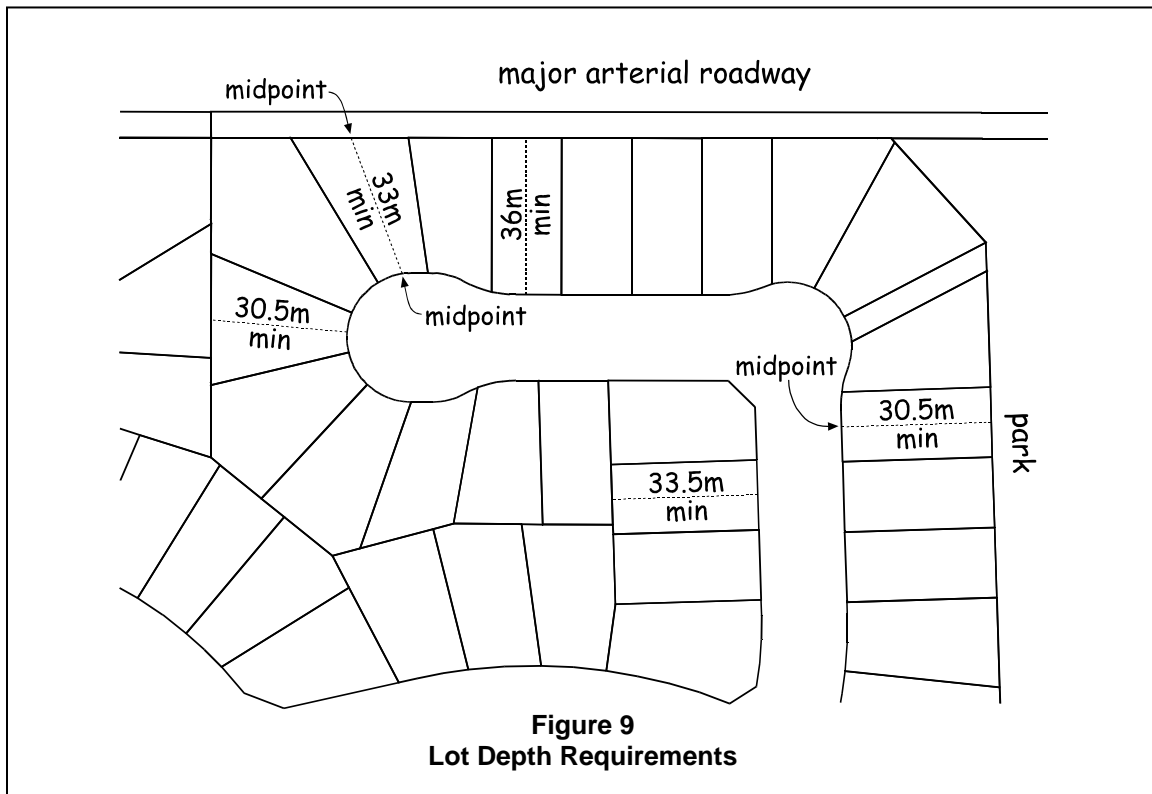
## Section 8.20. Low Density Residential (R1) Land Use District

located at least 90 m from any lot within said neighbourhood that was registered prior to the date that this Bylaw came into force.

### (9) Lot Depth

The minimum lot depth is:

- (a) 30.5 m, if
  - (i) the lot backs onto a P District, or
  - (ii) the lot is pie-shaped and is located on a bulb of a cul-de-sac, or on a partial bulb on an outside corner of a public roadway;
- (b) 36 m, if the lot is adjacent to or backs onto a major arterial roadway identified in Schedule B;
- (c) 33 m, if the lot is pie-shaped and is located on a bulb of a cul-de-sac, or on a partial bulb on an outside corner of a public roadway, and is adjacent to or backs onto a major roadway identified in Schedule B; and
- (d) 33.5 m in all other cases (Figure 9).



### (10) Maximum Lot Size

The maximum lot size is 2,000 sq. m.

**Section 8.20. Low Density Residential (R1) Land Use District**

**(11) Cul-de-sac Lots**

Where a lot is located on a cul-de-sac bulb adjacent to another existing or future residential development, the lot shall be a pie-shaped lot sharing a rear property with the adjacent residential development (Figure 10).

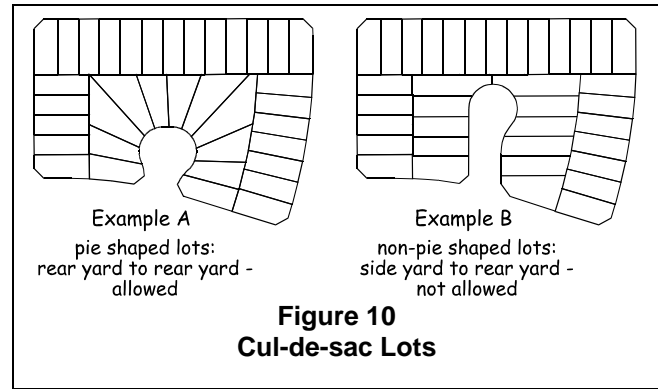
**(12) Lot Coverage**

The maximum lot coverage is 40%.

**(13) Building Height**

The maximum building height is

- (a) 6 m for a lot adjacent to St. Albert Road;
- (b) 11.5 for a walkout lot or a structure with a drive-under garage; and
- (c) 11 m in all other cases.



**(14) Attached Garage**

An attached garage or carport must comply with the building setback requirements that apply to the principal building.

**(15) Front Yard Setback**

- (a) The minimum front yard building setback is 6 m.
- (b) The minimum setback to an architectural projection is 5.4 m.

**(16) Side Yard Setback**

In this subsection

- (a) “greater than one storey” means where the height between finished grade and the bottom of the eave projection is equal to or greater than 4.9 m;
- (b)
  - (i) a side yard building setback shall be provided on each side or portion of a side of a house as follows:

Lot Width	One-Storey	Greater than one storey	8:12 or greater roof pitch
10 m - <12.2 m	1.25 m	1.25 m	1.25 m
12.2 m - <14.5 m	1.35 m	1.8 m	1.8 m
≥14.5 m	1.5 m	2.0 m	2.0 m

**Section 8.20. Low Density Residential (R1) Land Use District**

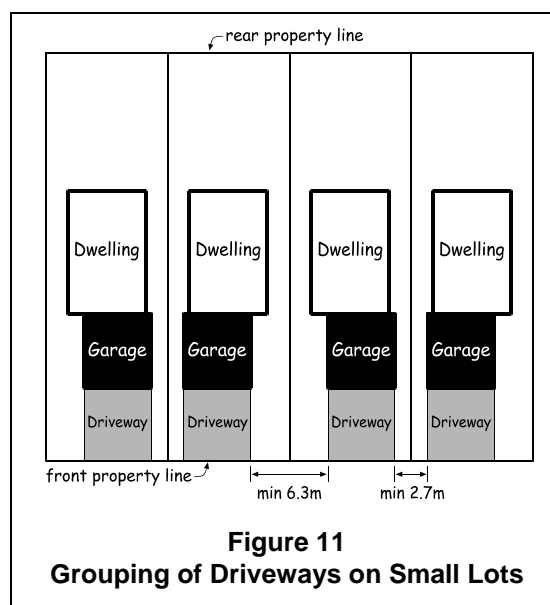
- (ii) in the case of a house where one side is a one storey and the other side is greater than one storey, the applicable setback shall be determined as required in clause (b)(i) based on the number of storeys on that side;
- (c) notwithstanding clause (b),
  - (i) a development without an attached garage must have a minimum side yard building setback of 3 m on one side to provide unobstructed vehicle access to the rear yard;
  - (ii) on a corner lot, the side of the lot that adjoins a public roadway must have a minimum side yard building setback of
    - (A) 4 m, or
    - (B) 6 m from the sidewalk to the face of the garage where a garage faces the flanking public roadway, excluding a lane;
- (d) in the case of a one storey single-detached house with a walkout basement, the Development Officer may reduce the side yard setback to 1.8 m at the point where the finished grade is greater than 2 m below the finished floor of the upper level; and
- (e) the minimum setback to an architectural projection is 1.2 m.

**(17) Rear Yard Setback**

- (a) The minimum rear yard principal building setback is
  - (i) 6 m if there is an attached garage or carport located on the lot; and
  - (ii) 10 m in all other cases.
- (b) The minimum setback to an architectural projection is 5.4 m.

**(18) Small Lots**

- (a) Garages and driveways located on lots less than 12.2 m in width shall be grouped to maximize on-street parking with a minimum of one on-street parking space to every two lots (Figure 11).
- (b) Driveways shall not exceed 5.5 m in width at the front property line when located on a lot less than 11.5 m in width.
- (c) Lots less than 11.5 m in width shall be located on through streets only.



**Section 8.20. Low Density Residential (R1) Land Use District**

**(19) Duplex or Semi-Detached Housing**

A duplex or semi-detached house in an R1 District shall comply with the following requirements for a development in the R2 District:

- (a) floor area;
- (b) lot area;
- (c) lot width;
- (d) lot width – pie-shaped lot;
- (e) lot depth;
- (f) lot coverage;
- (g) building height; and
- (h) all setbacks.

## Section 8.20. Low Density Residential (R1) Land Use District

### Summary Table – R1 District

Summary tables are provided for reader convenience. For any discrepancies between the following table and any other section of this Bylaw the latter shall govern.

The following table summarizes the majority of the R1 District. For specific regulations on subdivision design standards and regulations for lots less than 12.2 m in width, please refer to the R1 District text.

<b>Min. Lot Width</b>	10 m	Interior lot, subject to lot width distribution requirements		
	13m	Corner lot		
<b>Min. Lot Depth</b>	33.5 m			
	30.5 m	If a pie-shaped lot or backing onto P District		
	36 m	If adjacent or backing onto a major arterial road		
	33 m	If a pie-shaped lot backing onto a major arterial road		
<b>Max. Lot Coverage</b>	40%			
<b>Max. Building Height</b>	11.5 m	For walkout lots or drive-under garages		
	6 m	If adjacent to St. Albert Road		
	11 m	for all other structures		
<b>Min. Front Yard</b>	6m			
	5.4 m	For an architectural projection		
<b>Min. Side Yard</b>	Lot Width	One Storey	Greater than One Storey	≥ 8:12 Roof Pitch
	10 m - <12.2 m	1.25 m	1.25 m	1.25 m
	12.2 –14.5	1.35 m	1.8 m	1.8 m
	> 14.5 m	1.5 m	2.0 m	2.0 m
	3m	On one side if no garage or carport is attached		
	4 m	On corner lot on a side that adjoins a public road or lane		
	6 m	From the sidewalk for a garage on a corner lot where the garage faces the flanking road or lane		
	1.8 m	For a walkout lot where the dwelling is one storey in front yard (see text)		
	1.2 m	For an architectural projection.		
	<b>Min. Rear Yard</b>	6m	With attached garage	

**Section 8.20. Low Density Residential (R1) Land Use District**

	10 m	Without attached garage
	5.4 m	For an architectural projection
<b>Max. Lot Size</b>	2,000 sq. m	
<b>Parking</b>	Single family dwelling, duplex, semi-detached	2 stalls per unit
	Group home	1 parking space per three sleeping units and 1 parking space per resident staff member
	Limited group home	2 parking spaces per limited group home
	Bed and breakfast, home occupation, public utility building, residential sales centre, show home, raffle home	As required by Development Officer
	Family day home	4 stalls; or 1 stall per 2 employees plus 1 stall per 10 patrons, whichever is greater

This page left intentionally blank for printing purposes.

## Section 8.21. Low Density Residential (R2) Land Use District

### (1) Application

This section applies to the district designated as Low Density Residential (R2) on the Land Use District Map, Schedule A, of this Bylaw. Additional requirements are outlined in the Established Neighbourhood Overlay District, Schedule E, for development taking place in established neighbourhoods outlined in Figure 27. **(BL19/2006)**

### (2) Purpose

The purpose of the Low Density Residential (R2) Land Use District is to provide an area for duplex and semi-detached housing and other developments compatible with the low density residential nature of the district.

### (3) Permitted Land Uses

The following are permitted uses:

- (a) duplex;
- (b) limited group home;
- (c) semi-detached housing;
- (d) single-detached house;
- (e) basement suite associated with a single-detached house; and **(BL7/2007)**
- (f) park.

### (4) Discretionary Land Uses

The following are discretionary uses:

- (a) bed and breakfast;
- (b) family day home;
- (c) group home;
- (d) home occupation;
- (e) public utility building;
- (f) raffle home;
- (g) residential sales centre;
- (h) show home;
- (i) wall mural; and
- (j) accessory development to any use listed in subsections (3) and (4).

### (5) Floor Area

- (a) The minimum gross floor area per principal dwelling unit is 75 sq. m, excluding the area of an attached garage.

## Section 8.21. Low Density Residential (R2) Land Use District

- (b) The area comprising gross floor area must be enclosed, but does not require interior finishing.

### (6) Lot Area

- (a) The minimum lot area of an interior lot is:
  - (i) 244 sq. m for each dwelling unit of a semi-detached house; and
  - (ii) 400 sq. m for a duplex building.
- (b) The minimum lot area of a corner lot is:
  - (i) 305 sq. m for each dwelling unit of a semi-detached house; and
  - (ii) 460 sq. m for a duplex building.

### (7) Lot Width

- (a) The minimum lot width of an interior lot is:
  - (i) 8 m for each dwelling unit of a semi-detached house; and
  - (ii) 13 m for a duplex building.
- (b) The minimum lot width of a corner lot is:
  - (i) 10 m for each dwelling unit of a semi-detached house; and
  - (ii) 15 m for a duplex building.

### (8) Lot Width - Pie-Shaped Lot

For a pie-shaped lot located on a bulb of a cul-de-sac or a partial bulb on an outside corner of a public roadway:

- (a) lot width is measured along a line 9 m back from the front property line; and
- (b) curb frontage must be a minimum of 6 m as measured between the points determined by the intersection of the side property lines and the line of the curb face. For the purposes of this subsection, the side property lines are extended to the curb face (Figure 8).

### (9) Lot Depth

The minimum lot depth is:

- (a) 30.5 m, if
  - (i) the lot backs onto a P District, or
  - (ii) the lot is pie-shaped and is located on a bulb of a cul-de-sac, or on a partial bulb on an outside corner of a public roadway;

**Section 8.21. Low Density Residential (R2) Land Use District**

- (b) 36 m, if the lot is adjacent to or backs onto a major arterial roadway identified in Schedule B;
- (c) 33 m, if the lot is pie-shaped and is located on a bulb of a cul-de-sac, or on a partial bulb on an outside corner of a public roadway, and is adjacent to or backs onto a major arterial roadway identified in Schedule B; and
- (d) 33.5 m in all other cases (Figure 9).

**(10) Lot Coverage**

The maximum lot coverage is 40%.

**(11) Building Height**

The maximum building height is:

- (a) 6 m for a lot adjacent to St. Albert Road;
- (b) 11.5 for a walkout lot or a structure with a drive-under garage; and
- (c) 11 m in all other cases.

**(12) Attached Garage**

An attached garage or carport must comply with the building setback requirements that apply to the principal building.

**(13) Front Yard Setback**

- (a) The minimum front yard building setback is 6 m.
- (b) The minimum setback to an architectural projection is 5.4 m.

**(14) Side Yard Setback**

In this subsection

- (a) “greater than one storey” means where the height between finished grade and the bottom of the eave projection is equal to or greater than 4.9 m;

(b)

- (i) a side yard building setback shall be provided on each side or portion of a side of a house as follows:

One Storey	Greater than One Storey	8:12 or Greater Roof Pitch
1.5 m	2.0 m	1.8 m

- (ii) in the case of a house where one side is a one storey and the other side is greater than one storey, the applicable setback shall

## Section 8.21. Low Density Residential (R2) Land Use District

- be determined as required in clause (b)(i) based on the number of storeys on that side;
- (iii) if the finished floor level varies between one storey and greater than one storey on the same side excluding a walkout basement, the applicable setback on that side shall vary accordingly as required in clause (b)(i);
- (c) notwithstanding clause (b),
- (i) a development without an attached garage must have a minimum side yard building setback of 3 m on one side to provide unobstructed vehicle access to the rear yard;
  - (ii) on a corner lot, the side of the lot that adjoins either a public roadway or a public laneway must have a minimum side yard building setback of
    - (A) 4 m, or
    - (B) 6 m from the sidewalk to the face of the garage where a garage faces a flanking public roadway, excluding a lane; and
  - (iii) semi-detached housing units and decks associated with semi-detached housing units may develop to a 0 m setback along the common property line;
- (d) in the case of a semi-detached house with a walkout basement, the Development Officer may reduce the side yard setback on any side that is greater than one storey to 1.8 m; and
- (e) the minimum setback to an architectural projection is 1.2 m.

### (15) **Rear Yard Setback**

- (a) The minimum rear yard principal building setback is
  - (1) 6 m, if an attached garage or a carport is located on the lot; and
  - (2) 10 m in all other cases.
- (b) The minimum setback to an architectural projection is 5.4 m.

### (16) **Single-Detached House**

A single-detached house in an R2 district shall comply with the following requirements for a development in the R1 District:

- (a) floor area;
- (b) lot width;
- (c) lot width - pie-shaped lot;

**Section 8.21. Low Density Residential (R2) Land Use District**

- (d) lot width distribution;
- (e) lot depth;
- (f) lot coverage;
- (g) building height; and
- (h) all setbacks.

## Section 8.21. Low Density Residential (R2) Land Use District

### Summary Table - R2 District

Summary tables are provided for reader convenience. For any discrepancies between the following table and any other section of this Bylaw the latter shall govern.

<b>Min. Floor Area</b>	75 sq. m		
<b>Min. Lot Area</b>		Semi-detached dwelling	Duplex building
	Interior lot	244 sq. m	400 sq. m
	Corner lot	305 sq. m	460 sq. m
<b>Min. Lot Width</b>	Interior lot	8 m	13 m
	Corner lot	10 m	15 m
<b>Min. Lot Depth</b>	33.5 m		
	30.5 m	If a pie-shaped lot or backing onto P District	
	36 m	If adjacent & backing onto a major arterial road	
	33 m	If a pie-shaped lot backing onto a major arterial road	
<b>Max. Lot Coverage</b>	40%		
<b>Max. Building Height</b>	11.5 m	Walkout lots or structures with drive-under garages	
	6 m	If adjacent to St. Albert Road	
	11 m	For all other structures	
<b>Min. Front Yard</b>	6 m		
	5.4 m for an architectural projection		
<b>Min. Side Yard</b>	One-storey	Greater than one storey	≥ 8:12 roof pitch
	1.5 m	2 m	1.8 m
	3 m one side if no garage or carport is attached		
	4 m on corner lot on side which adjoins a public road or lane		
	6 m for a garage on a corner lot where the garage faces the flanking road or lane		
	1.8 m for a walkout where the dwelling is one storey in front yard (see text)		
	1.2 m for an architectural projection		
	0 m for semi-detached housing or attached deck along common property line		
<b>Min. Rear Yard</b>	6 m	With Attached Garage	
	10 m	Without Attached Garage	
	5.4 m for an architectural projection		
<b>Parking</b>	Single Family Dwelling, Duplex, Semi-detached		2 stalls/dwelling unit

**Section 8.21. Low Density Residential (R2) Land Use District**

Group home	1 parking space per three sleeping units and 1 parking space per resident staff member;
Limited group home	2 parking spaces per limited group home;
Bed and breakfast, home occupation, park, public utility building, raffle home, residential sales centre, show home	as required by Development Officer
Family day home	4 stalls; or 1 stall per 2 employees plus 1 stall per 10 patrons; whichever is greater;

This page left intentionally blank for printing purposes.

## Section 8.22. Medium Density Residential (R3) Land Use District

(1) **Application**

This section applies to the district designated as Medium Density Residential (R3) on the Land Use District Map, Schedule A, of this Bylaw.

(2) **Purpose**

The purpose of the Medium Density Residential (R3) Land Use District is to provide an area for townhousing compatible with the medium density residential nature of the district.

(3) **Permitted Land Uses**

The following is a permitted use:

- (a) townhousing.

(4) **Discretionary Land Uses**

The following are discretionary uses:

- (a) apartment building with up to 8 units;
- (b) semi-detached housing on lands districted R3, as shown on Schedule D; **(BL 21/2009)**
- (c) day care facility;
- (d) family day home;
- (e) home occupation;
- (f) long-term care housing;
- (g) public utility building;
- (h) raffle home;
- (i) residential sales centre;
- (j) show home;
- (k) supportive housing;
- (l) wall mural; and
- (m) accessory developments to any use listed in subsections (3) and (4).

## Section 8.22. Medium Density Residential (R3) Land Use District

### (5) Lot Area

The minimum lot area is:

- (a) 183 sq. m per dwelling unit for a street-oriented townhousing development located on an interior lot;
- (b) 305 sq. m per dwelling unit for a street-oriented townhousing development located on a corner lot; and
- (c) 900 sq. m for a townhousing or apartment development, excluding street-oriented townhousing.

### (6) Lot Frontage

The minimum lot frontage is:

- (a) 30 m for a townhousing, or apartment development;
- (b) 6 m for a street-oriented townhousing development per unit located on an interior lot; and
- (c) 10 m for a street-oriented townhousing development per unit located on a corner lot.

### (7) Lot Depth

The minimum lot depth is:

- (a) 30.5 m, if
  - (i) the lot backs onto a P District; or
  - (ii) the lot is pie-shaped and is located on a bulb of a cul-de-sac, or on a partial bulb on an outside corner of a public roadway;
- (b) 36 m, if the lot is adjacent to or backs onto a major arterial roadway identified in Schedule B of this Bylaw;
- (c) 33 m, if the lot is pie-shaped and is located on a bulb of a cul-de-sac, or on a partial bulb on an outside corner of a public roadway, and is adjacent to or backs onto a major arterial roadway identified in Schedule B; and
- (d) 33.5 m in all other cases (Figure 9).

### (8) Site Density

- (a) The maximum site density for a townhousing or apartment development is 35 dwelling units per ha.
- (b) For the purpose of calculating the maximum site density, 27.5 sq. m may be added to the lot area for every parking stall which is constructed

## Section 8.22. Medium Density Residential (R3) Land Use District

underground or above finished grade under a dwelling, if the Development Officer considers this to be appropriate given site constraints.

### (9) Landscaping

- (a) In addition to the requirements under Section 6.13, the Development Officer may require additional landscaping or fencing between
  - (i) the exterior wall of any habitable room and the closest edge of an on-site roadway or parking space; and
  - (ii) the property line and the closest edge of an on-site roadway or parking space.
- (b) A development located adjacent to a major arterial roadway listed in Schedule B must have a berm and fencing to the satisfaction of the Development Officer.
- (c) For the berm under clause (b), planting requirements shall be determined by the Development Officer taking into consideration site characteristics and this Bylaw.

### (10) Lot Coverage

- (a) The maximum lot coverage for townhousing is 40%.
- (b) The maximum lot coverage for any other development shall be determined by the Development Officer after taking into account site density and site constraints.

### (11) Building Height

The maximum building height is:

- (a) 11.5 for a walkout lot or a structure with a drive-under garage; and
- (b) 11 m in all other cases.

### (12) Attached Garage

An attached garage or carport must comply with the building setback and separation distance requirements that apply to a principal building.

### (13) Building Setback

- (a) The minimum building setback for a townhousing development, excluding street-oriented townhousing, is
  - (i) 5 m from any property line adjoining a P District;
  - (ii) 7.5 m from any property line adjacent to a major arterial roadway listed in Schedule B, if a dwelling unit faces that roadway; and

**Section 8.22. Medium Density Residential (R3) Land Use District**

- (iii) 6 m from a property line in all other cases.
- (b) The minimum building setback for street-oriented townhousing is:
  - (i) 6 m from the front property line;
  - (ii) from side property lines;
    - (A) 0 m for an internal unit;
    - (B) 1.8 m for an end unit;
    - (C) 4 m on a corner lot; and
  - (iii) 10 m from the rear property line.
- (c) An apartment building must have a minimum building setback as follows:

Yard	Setback
(i) Front	6 m
(ii) Side	1.8 m, unless it is the street side of a corner lot in which case it must be 4 m if there is a garage or 6 m if there is no garage. On a two-storey building, the second storey shall have a minimum 2 m setback.
(iii) Rear	10 m

- (d) In addition to the requirements of Section 8.6, a deck higher than 0.6 m above finished grade is part of the principal building and must comply with the building setback requirements which apply to the principal building.
- (e) A public utility building must have a minimum setback from any property line as determined by the Development Officer.
- (f) Unless otherwise specified in this Bylaw, a discretionary use listed in subsection (4) must be set back from any property line as required by the Development Officer.

**(14) Location of Buildings**

The minimum separation distances for residential buildings are:

- (a) 12 m between the exterior of the front or rear wall of each building and the rear or front wall of any other building;
- (b) 6 m between the exterior of the front or rear wall of each building and

## Section 8.22. Medium Density Residential (R3) Land Use District

- (i) any separate wall of a residential building;
  - (ii) a common walkway except that portion of the walkway that provides direct access to the building;
  - (iii) an on-site roadway; and
  - (iv) a common or visitor parking stall located on-site;
- (c) 3 m between the exterior of the side wall of each building and
- (i) the side wall of any other building unless a greater separation is required by the Development Officer;
  - (ii) a common walkway except that portion of the walkway that provides direct access to the building;
  - (iii) an on-site roadway; or
  - (iv) a common or visitor parking stall located on-site; and
- (d) 1.5 m between a principal building and an accessory building, except for a common amenity building which has a separation distance determined by the Development Officer.

### (15) Private Amenity Area and Setbacks

- (a) Each dwelling unit must have a private amenity area.
- (b) A private amenity area must be located next to a habitable room.
- (c) A private amenity area that is located at finished grade must have a minimum depth of 6 m, except where a dwelling unit is adjacent to a P District, in which case a minimum depth of 5 m must be provided.
- (d) A private amenity area in a dwelling unit located above the ground floor must have a minimum area of 4 sq. m.

### (16) Semi-Detached Housing

A semi-detached house shall comply with the following requirements for a development in the R2 District:

- (a) floor area;
- (b) lot area;
- (c) lot width;
- (d) lot width - pie-shaped lot;
- (e) lot depth;
- (f) lot coverage;

**Section 8.22. Medium Density Residential (R3) Land Use District**

- (g) building height; and
- (h) all setbacks.

## Section 8.22. Medium Density Residential (R3) Land Use District

### Summary Table - R3 District

Summary tables are provided for reader convenience only and do not form part of this Bylaw. For any discrepancies between the following table and any other section of this Bylaw the latter shall govern.

Subject	Townhousing	Street-Oriented Townhousing		Apartment
<b>Lot</b>		Interior Lot	Corner Lot	
<b>Min. Lot Area</b>	900 sq. m	183 sq. m	305 sq. m	900 sq. m
<b>Min. Lot Frontage</b>	30 m	6 m	10 m	30 m
<b>Min. Lot depth</b>	33.5 m	33.5 m	33.5 m	33.5 m
	If a pie-shaped lot or backing onto P District: 30.5 m			
	If a pie-shaped lot and is adjacent to or backs onto a major arterial roadway: 33 m			
	If adjacent to or backs onto a major arterial roadway: 36 m			
<b>Max. Site Density</b>	35 unit/ha (see text for density bonuses)			
<b>Max. Lot Coverage</b>	40%	40%	40%	As determined by Development Officer
<b>Max. Building Height</b>	11.5 m for walkout lots or structures with drive-under garages; 11 m for all other structures.			
<b>Min. Front Yard</b>	6 m (see text)	6 m	6 m	6 m
<b>Min. Side Yard</b>	6 m (see text)	0 m inside lot 1.8 m end lot	0 m inside lot 1.8 m end lot	1.8 m 2.0 m for 2 <sup>nd</sup> Storey
	If corner lot with garage:			
	6 m (see text)	4 m	4 m	4 m
	If corner lot with no garage:			
	6 m (see text)	6 m	6 m	6 m
<b>Min. Rear Yard</b>	N/A	10 m	10 m	10 m
<b>Building Location</b> <b>For all residential buildings</b>	Min. between the exterior of the front or rear wall of each dwelling unit and the rear or front of any other dwelling unit: 12 m			
	Min. between the exterior of the front or rear wall of each dwelling unit and a side wall of a residential building, walkway, roadway or parking stall on-site: 6 m			
	Min. between the side of a dwelling unit and any other building, walkway, on-site roadway or parking stall (see text): 3 m			



**Section 8.22. Medium Density Residential (R3) Land Use District**

	Min. between a principal building and an accessory building (excluding common amenity buildings): 1.5 m	
<b>Private Amenity Area</b>	Min. depth if located at grade: 6 m	
	Min. depth if at grade and adjacent to a public park: 5 m	
	Min. area if above the ground floor: 4 sq. m	
<b>Deck Setbacks</b>	A deck higher than 0.6 m above grade must comply with the building setback that applies to a principal building.	
<b>Parking</b>	Townhousing	2 stall per unit, plus 1 stall for 3 dwelling units for visitor parking
	Home occupation, public utility building, show home, residential sales centre, raffle home	As determined by Development Officer
	Supportive housing	1 stall per dwelling unit or stall per 5 dwelling units for each non-self-contained supportive housing unit, plus: 1 stall per 7 dwelling units for visitor parking, plus: 1 stall per employee with a letter from the applicant identifying the total number of employees.
	Long term care housing	a minimum of 1 stall per 5 dwelling units, plus; 1 stall per 7 dwelling units for visitor parking, plus; 1 stall per employee with a letter from the applicant identifying the total number of employees.
	Apartment – bachelor/1 bedroom unit	1 stall /unit
	Apartment – 2 bedroom unit	1.5 stalls/unit
	Apartment – 2+ bedroom unit	2 stalls/unit
	Residential use visitor parking	1 stall / 5 dwelling units
	Day care facility, family day home	4 stalls; or 1 stall per 2 employees plus 1 stall per 10 patrons; whichever is greater



## Section 8.23. Medium Density Residential (R3A) Land Use District

(1) **Application**

This section applies to the district designated as Medium Density Residential (R3A) on the Land Use District Map, Schedule A, of this Bylaw.

(2) **Purpose**

The purpose of the Medium Density Residential (R3A) Land Use District is to provide an area for apartment buildings and townhousing compatible with the medium density residential nature of the district.

(3) **Permitted Land Uses**

The following are permitted uses:

- (a) apartment building; and
- (b) townhousing.

(4) **Discretionary Land Uses**

The following are discretionary uses:

- (a) day care facility;
- (b) family day home;
- (c) home occupation;
- (d) long term care housing;
- (e) public utility building;
- (f) raffle home;
- (g) residential sales centre;
- (h) show home;
- (i) supportive housing;
- (j) wall mural; and
- (k) accessory developments to any use listed in subsections (3) and (4).

(5) **Lot Area**

The minimum lot area is 0.2 ha.

(6) **Frontage**

The minimum lot frontage is 35 m.

## Section 8.23. Medium Density Residential (R3A) Land Use District

### (7) Site Density

- (a) The minimum site density for the site is 35 dwelling units per ha and cannot exceed a maximum of 94 dwelling units per ha. **(BL28/2010)**
- (b) for the purpose of calculating the site area, 27.5 sq. m may be added to the site area for every parking stall which is constructed underground or under a dwelling at finished grade if the Development Officer considers this to be appropriate given site constraints.

### (8) Landscaping

- (a) In addition to the requirements of Section 6.13, the Development Officer may require additional landscaping or fencing between
  - (i) the exterior wall of any habitable room and the closest edge of an on-site roadway or parking space;
  - (ii) the property line and the closest edge of an on-site roadway or parking space.
- (b) A development located adjacent to a major arterial roadway listed in Schedule B, must have a berm and fencing to the satisfaction of the Development Officer.
- (c) For the berm under clause (b), planting requirements shall be determined by the Development Officer taking into consideration site characteristics and this Bylaw.

### (9) Building Height

The maximum building height of a principal building is 13 m.

### (10) Building Setbacks

- (a) The minimum front yard building setback is 6 m;
- (b) The minimum side yard building setback is 3 m plus an additional 1 m for each m or portion thereof in height that the building exceeds 8.5 m from finished grade;
- (c) If a lot is not serviced by a rear access lane, at least 1 side yard must have a minimum building setback of 3.5 m to provide unobstructed vehicle access to the rear yard;
- (d) The minimum rear yard building setback is 10 m;
- (e) The minimum building setback for an accessory building is 3 m;
- (f) The building must have a minimum setback from any property line as determined by the Development Officer.

### (11) Location of Buildings

## Section 8.23. Medium Density Residential (R3A) Land Use District

The minimum separation distances applicable to an apartment building are:

- (a) 10 m between the exterior wall of an apartment building and any other building;
- (b) 6 m between the exterior wall of each apartment building and
  - (i) a common walkway, excluding an entry or exit way;
  - (ii) a roadway; and
  - (iii) a common or visitor parking stall located on-site; and
- (c) notwithstanding section (b), the minimum separation distance may be reduced to no less than 4.5 m if a site obscuring screen of at least 1.0 m in height is provided to the satisfaction of the Development Officer; and **(BL28/2010)**
- (d) 1.5 m between a principal building and an accessory building, except in the case of a common amenity area, where the Development Officer shall in his discretion determine the separation distance from the principal building.

### (12) **Attached Garage and Carport**

An attached garage or carport must comply with the building setback and separation distance requirements that apply to a principal building.

### (13) **Private Amenity Area**

Each dwelling unit must provide 1 of the following forms of private amenity areas:

- (a) a balcony;
- (b) a patio;
- (c) a partial balcony system comprised of an exterior railing around a doorway; or
- (d) a recessed balcony or sunroom enclosed with exterior windows.

### (14) **Townhousing Development**

All townhousing developments in an R3A district must comply with the following requirements for development in the R3 District:

- (a) lot area;
- (b) lot frontage;
- (c) lot depth;
- (d) site density;
- (e) landscaping;

**Section 8.23. Medium Density Residential (R3A) Land Use District**

- (f) lot coverage;
- (g) building height;
- (h) all building setbacks;
- (i) location of buildings; and
- (j) private amenity area and setbacks.

**Section 8.23. Medium Density Residential (R3A) Land Use District**

**Summary Table - R3A District**

Summary tables are provided for reader convenience only and do not form part of this Bylaw. For any discrepancies between the following table and any other section of this Bylaw the latter shall govern.

<b>Min. Lot Area</b>	0.2 ha	
<b>Min. Frontage</b>	35 m	
<b>Max. Density</b>	Minimum 35 dwelling units per hectare, Maximum 94 dwelling units per hectare	
<b>Max. Height</b>	13 m	
<b>Min. Front Yard</b>	6 m	
<b>Min. Side Yard</b>	3 m	plus 1 m for each m over 8.5 m of building height
	3.5 m	one side if there is no lane access
<b>Min. Rear Yard</b>	10 m	
<b>Other Setback</b>	3 m	min. setback for an accessory building
<b>Building Location for apartment buildings</b>	10 m	Min. separation between the exterior wall of an apartment building and any other dwelling unit
	4.5 m	Min. separation between the exterior wall of each apartment building on a common walkway, roadway or parking stall on site if a sight obscuring screen of at least 1.0m in height is provided to the satisfaction of the Development Officer.
	1.5 m	Min. separation between a principal building and an accessory building except where there is a common amenity area, in which case separation will be at the discretion of the Development Officer
<b>Attached Garages</b>	must comply with the separation distances for a principal building	
<b>Parking</b>	apartment -- bachelor unit/1 bedroom unit	1 stall/unit
	apartment -- 2 bedroom unit	1.5 stalls/unit
	apartment -- 2+ bedroom unit	2 stalls/unit
	townhousing	2 stalls/unit
	residential use visitor parking	1 stall/5 dwelling units
	home occupation, public utility building, raffle home, residential sales centre, show home	As determined by Development Officer

**Section 8.23. Medium Density Residential (R3A) Land Use District**

	supportive housing	1 stall per dwelling unit or 1 stall per 5 dwelling units for each non-self-contained supportive housing unit, plus; 1 stall per 7 dwelling units for visitor parking, plus; 1 stall per employee with a letter from the applicant identifying the total number of employees
	long term care housing	a minimum of 1 stall per 5 dwelling units, plus; 1 stall per 7 dwelling units for visitor parking, plus; 1 stall per employee with a letter from the applicant identifying the total number of employees
	day care facility, family day home	4 stalls; or 1 stall per 2 employees plus 1 stall per 10 patrons; whichever is greater

## Section 8.24. Downtown Residential (DR) Land Use District

(1) **Application**

This section applies to the district designated as Downtown Residential (DR) on the Land Use District Map, Schedule A, of this Bylaw.

(2) **Purpose**

The purpose of the Downtown Residential District is to provide an area for a high density residential development in the downtown area.

(3) **Discretionary Land Uses**

The following are discretionary uses:

- (a) apartment building;
- (b) day care facility;
- (c) family day home;
- (d) raffle home;
- (e) residential sales centre;
- (f) show home;
- (g) stacked townhousing;
- (h) wall mural; and
- (i) accessory development to any use listed in subsection (3).

(4) **Building Height**

- (a) The maximum building height is 15 m;
- (b) At the discretion of the Development Officer, the maximum building height may be increased up to 20 m if a development provides any or all of the following:
  - (i) superior or innovative building style;
  - (ii) high quality exterior finishing;
  - (iii) terracing of upper storeys;
  - (iv) peaked roof; or
  - (v) high quality landscaping.

(5) **Building Setbacks**

- (a) The front and rear yard building setback shall be determined by the Development Officer with regard to adjacent uses and on-site constraints;

## Section 8.24. Downtown Residential (DR) Land Use District

- (b) The minimum side yard building setback is 5 m, unless otherwise determined by the Development Officer taking into account adjacent uses and on-site constraints; and
- (c) The minimum building setback for an accessory building is 3m.

### (6) Private Amenity Area and Setbacks

Each dwelling unit must provide 1 of the following forms of private amenity areas:

- (a) a balcony;
- (b) a patio;
- (c) a partial balcony system comprised of an exterior railing around a doorway; or
- (d) a recessed balcony or sunroom enclosed with exterior windows.

### (7) Location of Buildings

The minimum separation distances for apartment buildings are:

- (a) 10 m between the exterior wall of an apartment building and any other residential building;
- (b) 4 m between the exterior wall of each dwelling unit in an apartment and
  - (i) a common walkway;
  - (ii) a roadway; or
  - (iii) a common or visitor parking stall located on-site.

### (8) Design Criteria

The following are requirements:

- (a) building massing must respect the existing topography of the site by terracing the building where appropriate;
- (b) the view corridor to St. Albert Place must be maintained as per Figure 12;
- (c) a minimum of 60% of the non-glazed area of the exterior finish must be brick similar in material and complementary colour to that used for St. Albert Place;
- (d) exterior lighting fixtures and furnishings must be similar, in terms of quality, style, size and colour, to the municipal streetscape improvements in the downtown;
- (e) rooftop mechanical equipment must be screened on all sides and on top to the specification and satisfaction of the Development Officer;

## Section 8.24. Downtown Residential (DR) Land Use District

- (f) walls, including retaining walls, for general landscaping, private amenity areas and perimeter walls must be constructed or finished in brick similar in material and colour to that used for the principal building exterior; and
- (g) fences for general landscaping and perimeter fencing must be constructed of wrought iron.

### (9) **Additional Design Criteria**

The Development Officer may impose any of the following requirements:

- (a) private amenity areas must have the following minimum dimensions:
  - (i) 5 sq. m and average depth of 2 m for a bachelor or 1 bedroom unit; and
  - (ii) 9 sq. m and average depth of 2 m for a 2 bedroom or larger unit;
- (b) private amenity areas at ground level must be screened with a fence or wall with a minimum height of 1.2 m;
- (c) a private amenity area at ground level adjacent to public areas must have a landscape buffer at least 1 m wide;
- (d) all pedestrian entrances must have overhead weather protection;
- (e) walkways must be at least 1.5 m wide; and
- (f) building entrances must have barrier-free access.

### (10) **Landscaping**

In addition to the requirements set out in Section 6.13, a landscaped area shall be designed to complement buildings and building materials and to complement City furniture and downtown streetscapes.

### (11) **Site Density**

- (a) The site density must be more than 94 dwelling units per ha and less than 141 dwelling units per ha.
- (b) The maximum site density may be increased, at the discretion of the Development Officer, taking into account the effect on adjacent uses.

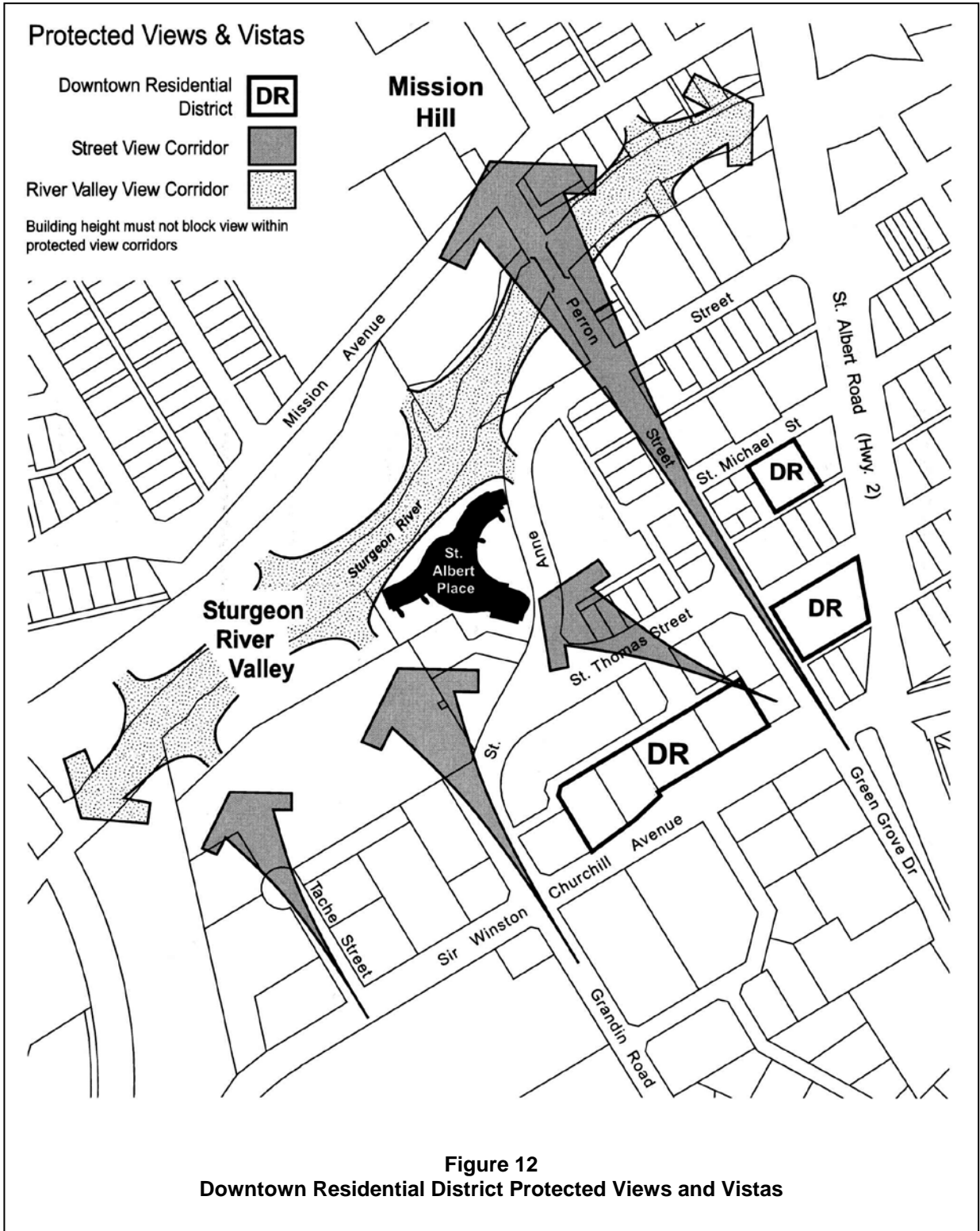
### (12) **Parking**

In addition to the requirements under Part 7:

- (a) the maximum height of a parking structure must not exceed 5 m above finished grade; and

on-site surface parking shall be conveniently located and shall complement the overall design of the development to the satisfaction of the Development Officer.

**Section 8.24. Downtown Residential (DR) Land Use District**



**Section 8.24. Downtown Residential (DR) Land Use District**

**Summary Table - Downtown Residential District**

Summary tables are provided for reader convenience only and do not form part of this Bylaw. For any discrepancies between the following table and any other section of this Bylaw the latter shall govern.

<b>Max. Density</b>	Min. 94 dwelling units/ha	
	Max. 141 dwelling units/ha	
	Additional density by Development Officer discretion	
<b>Max. Height</b>	15 m	
	20 m	At discretion of Development Officer (see text)
	5 m	Max. height above finished grade for parking structures
<b>Min. Front Yard</b>	Development Officer discretion	
<b>Min. Side Yard</b>	5 m	Unless otherwise determined by Development Officer
<b>Min. Rear Yard</b>	Development Officer discretion	
<b>Other Setback</b>	3 m	min. setback for an accessory building
<b>Building Location</b>	10 m	Min. separation between external wall of dwelling unit and other dwelling unit
	4 m	Min. separation between exterior wall of dwelling unit and common walkway, roadway or parking stall located on site
<b>Parking</b>	Apartment -- bachelor or 1 bedroom unit	1 stall/unit
	Apartment -- 2 bedroom unit	1.5 stalls/unit
	Apartment -- 3+ bedroom unit	2 stalls/unit
	Townhousing	2 stalls/unit
	residential visitor parking	1 stall/5 dwelling units
	raffle home, residential sales centre, show home	as determined by Development Officer
	day care facility, family day home	4 stalls; or 1 stall per 2 employees plus 1 stall per 10 patrons; whichever is greater

This page left intentionally blank for printing purposes.

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

**(1) Application**

This section applies to the district designated as Medium/High Density Residential (R4) on the Land Use District Map, Schedule A, of this Bylaw.

**(2) Purpose**

The purpose of the Medium/High Density Residential District is to provide an area for medium to higher density residential development.

**(3) Permitted Land Uses**

The following are permitted uses:

- (a) apartment building; and
- (b) stacked townhousing.

**(4) Discretionary Land Uses**

The following are discretionary uses:

- (a) family day home;
- (b) home occupation;
- (c) long term care housing;
- (d) residential sales centre;
- (e) show home;
- (f) supportive housing;
- (g) the following uses if they are accessory to an apartment building use and integrated within the lower level(s) of the building:
  - (i) art gallery;
  - (ii) convenience store;
  - (iii) day care facility;
  - (iv) family day home;
  - (v) general retail store;
  - (vi) restaurant;
  - (vii) specialty store; and
- (h) accessory developments to any use listed in subsections (3) and (4).

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

**(5) Lot Area**

The minimum lot area is 0.2 ha.

**(6) Frontage**

The minimum lot frontage is 35 m.

**(7) Building Height**

- (a) the maximum building height is 25 m;
- (b) notwithstanding subsection (a), at the discretion of the Development Officer the maximum building height may be increased up to 35 m subject to the provisions of Section 8.25(12) of this Bylaw; and
- (c) for any building that is proposed to exceed 15 m in height, a building height impact assessment, prepared by a registered Architect or Professional Engineer, shall be required. The assessment shall address the shading impact of the proposed building on adjacent properties and buildings and where applicable, the impact of glare associated with facades that are to contain a substantial proportion of glass.

**(8) Building Setbacks**

- (a) the minimum front yard setback is 6 m;
- (b) the minimum side yard building setback is 5 m, unless otherwise determined by the Development Officer taking into account adjacent uses and on-site constraints;
- (c) the minimum rear yard setback is 10 m;
- (d) the minimum building setback for an accessory building is 3 m; and
- (e) for developments subject to the criteria of Section 8.25(12) of this Bylaw, the Development Officer may determine the minimum building setbacks taking into account adjacent uses.

**(9) Amenity Areas**

- (a) each dwelling unit must provide 1 of the following forms of private amenity areas:
  - (i) a balcony;
  - (ii) a patio;
  - (iii) a partial balcony system comprised of an exterior railing around a doorway; or
  - (iv) a recessed balcony or sunroom enclosed with exterior windows; and

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

- (b) notwithstanding subsection (a) at the discretion of the Development Officer, the requirement for a private amenity area may be substituted for a common amenity area that is accessible to all residents and which may include:
  - (i) a rooftop amenity area and/or rooftop garden;
  - (ii) a balcony or terraced balcony;
  - (iii) an at grade common area; and/or
  - (iv) some other amenity area common to and accessible by all residents that the Development Officer deems appropriate.

**(10) Location of Buildings**

The minimum separation distances for apartment buildings are:

- (a) 10 m between the exterior wall of an apartment building and any other residential building; and
- (b) 4 m between the exterior wall of each dwelling unit in an apartment and
  - (i) a common walkway;
  - (ii) a roadway; or
  - (iii) a common or visitor parking stall located on-site; and
- (c) separation distances may be determined by the Development Officer for any portion or portions of a building containing ground floor non-residential uses.

**(11) Design Criteria**

The following are requirements:

- (a) building massing must respect the existing topography of the site by terracing the building where appropriate;
- (b) building facades must incorporate articulation to the satisfaction of the Development Officer in order to minimize the perceived mass and linearity of buildings;
- (c) rooftop mechanical equipment must be screened on all sides and on top to the specification and satisfaction of the Development Officer;
- (d) walls, including retaining walls, for general landscaping, private and common amenity areas and perimeter walls must be constructed or finished in similar material and colour to that used for the principal building exterior;
- (e) private amenity areas must have the following minimum dimensions:
  - (i) 5 sq. m and average depth of 2 m for a bachelor or 1 bedroom unit; and

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

- (ii) 9 sq. m and average depth of 2 m for a 2 bedroom or larger unit;
- (f) private amenity areas at ground level must be screened with a fence or wall with a minimum height of 1.2 m;
- (g) a private or common amenity area at ground level adjacent to public areas must have a landscape buffer at least 1 m wide or fencing;
- (h) all pedestrian entrances must have overhead weather protection;
- (i) walkways must be at least 1.5 m wide; and
- (j) building entrances must have barrier-free access.

**(12) High Density Criteria**

For any development that contains a building in excess of 25 m in height and/or densities greater than 141 dwelling units per ha, the Development Officer may impose any of the following requirements:

- (a) provision of non-residential land uses, as outlined in Section 8.25(4)(g) of this Bylaw, within the lower level(s) of the building;
- (b) provision of a distinct building base or pedestal with a stepback provided for upper floors;
- (c) building oriented to face the public roadway with a reduced or 0 m front yard setback to create a continuous ground level street front;
- (d) provision of wider sidewalks together with street furniture to the satisfaction of the Development Officer;
- (e) direct entrances to ground floor units in order to help promote a pedestrian oriented streetscape;
- (f) parking to be located to the rear of the building, underground, or within a parkade structure integrated within the building including high quality exterior finishing that matches or complements the principal building exterior;
- (g) provision of transit shelters together with convenient, barrier-free pedestrian connections between transit zones and the development;
- (h) an outdoor communal amenity area of not less than 100 square metres for building residents and the general public, to the satisfaction of the Development Officer in accordance with following:
  - (i) the amenity area may include seating areas, raised gardens, courtyards and recreational areas;
  - (ii) the amenity area may include a plaza or focal point;
  - (iii) the amenity area may include such elements as street furnishings, hard surfacing, plantings, amenities, art and sculpture and architectural

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

features to create a strong sense of communal gathering space. The amenity area must also provide for an area of overhead weather protection as a portion of the amenity area; and

- (iv) the amenity area must have convenient pedestrian connections and provide for barrier free access;

**(13) Visitor Parking Bonus**

Notwithstanding the requirements of Section 7.3 of this Bylaw, for any development that employs three (3) or more of the criteria identified in Section 8.25(12) hereof, the minimum visitor parking requirement may be reduced at the discretion of the Development Officer but shall not be less than a ratio of 1 parking stall per 7 dwelling units.

**(14) Landscaping**

- (a) in addition to the requirements under Section 6.13, the Development Officer may require additional landscaping or fencing between
  - (i) the exterior wall of any habitable room and the closest edge of an on-site roadway or parking space; and
  - (ii) the property line and the closest edge of an on-site roadway or parking space.
- (b) a development located adjacent to a major arterial roadway listed in Schedule B must have a berm and fencing to the satisfaction of the Development Officer.
- (c) for the berm under clause (b), planting requirements shall be determined by the Development Officer taking into consideration site characteristics and this Bylaw.

**(15) Site Density**

- (a) the site density must be more than 94 dwelling units per ha and less than 141 dwelling units per ha.
- (b) notwithstanding subsection (a), site density may be increased or decreased at the discretion of the Development Officer, taking into account the effect on adjacent uses and the provisions of Section 8.25(12) of this Bylaw.

**(16) Townhousing Development**

All townhousing developments in an R4 District must comply with the following requirements for development in the R3 District:

- (a) lot area;
- (b) lot frontage;
- (c) lot depth;

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

- (d) site density;
- (e) landscaping;
- (f) lot coverage;
- (g) building height;
- (h) all building setbacks;
- (i) location of buildings; and
- (j) private amenity areas and setbacks.

**Summary Table – R4 District**

Summary tables are provided for reader convenience only and do not form part of this Bylaw. For any discrepancies between the following table and any other section of this Bylaw the latter shall govern.

<b><u>Max. Density</u></b>	Min. 94 dwelling units/ha	
	Max. 141 dwelling units/ha	
	Additional density by Development Officer discretion	
<b><u>Max. Height</u></b>	25 m	
	35 m at discretion of Development Officer (see text)	
<b><u>Min. Front Yard</u></b>	6 m	
<b><u>Min. Side Yard</u></b>	5 m unless otherwise determined by Development Officer	
<b><u>Min. Rear Yard</u></b>	10 m	
<b>Other Setback</b>	3 m min. setback for an accessory building	
<b>Building Location</b>	10 m min. separation between external wall of a dwelling unit and another dwelling unit	
	4 m min. separation between exterior wall of dwelling unit and common walkway, roadway or parking stall located on site	
<b>Parking</b>	apartment – bachelor or 1 bedroom	1 stall/unit
	apartment – 2 bedroom unit	1.5 stalls/unit
	apartment – 3+ bedroom unit	2 stalls/unit
	townhousing	2 stalls/unit
	residential visitor parking	1 stall/5 dwelling units
	long term care housing	1 stall/5 dwelling units, plus; 1 stall/7 dwelling units for visitor parking, plus; 1 stall/employee

**Section 8.25. Medium / High Density Residential (R4) Land Use District  
(BL4/2008)**

	supportive housing	1 stall per dwelling unit or 1 stall/5 dwelling units for each non self-contained supportive housing unit, plus; 1 stall/7 dwelling units for visitor parking, plus; 1 stall/employee
	day care facility, family day home	4 stalls; or 1 stall/2 employees plus 1 stall/10 patrons, whichever is greater
	residential sales centre, show home, art gallery	as determined by Development Officer
	convenience store, general retail store, specialty store	1 stall/45 sq. m
	restaurant	1 stall/4 seats

This page left intentionally blank for printing purposes.